



02 June 2025

Notification of Development Application No. 2025/045

Site Description: Lot: 11 DP: 263040, 'Alinah Field' 91 Reading Road GUNNEDAH.

Notice is given that a Development Application has been submitted for Council's consideration that involves the construction of a shed varying the maximum cumulative size.

The address of the proposed development is 91 Reading Road GUNNEDAH.

The applicant is Mr Christopher Sheridan and Gunnedah Shire Council is the consent authority.

The Development Application has been placed on public exhibition for a period of **14** days. The documents may be inspected at Council's office during office hours 9am-4pm or on Council's website <http://www.gunnedah.nsw.gov.au/>.

Any person may make a written submission about this application to the General Manager, Gunnedah Shire Council, PO Box 63, Gunnedah NSW 2380 or via email council@gunnedah.nsw.gov.au. The issues you raise will be included in the evaluation of the development application, along with the other matters Council must consider.

Submissions should be received no later than 5.00pm on **16 June 2025**. All submissions must include disclosure of any reportable political contribution or gift made in the previous two years.

If the submission includes an objection to the proposal, the grounds of objection must be given. You are advised that you may request that your name and address not be disclosed by stating prominently "OBJECTION IN CONFIDENCE" on your submission for reason that disclosure would result in detriment to you. However, Council may be obliged to release these details under the Freedom of Information Act 1989 even if these words are used in the submission. Further, submissions that do not contain the author's name and address may not be considered as Council will be unable to validate the submissions authenticity.

If you have any enquiries in relation to this Development Application, please contact Council's Duty Planner on (02) 6740 2100.

Yours faithfully

Wade Hudson
MANAGER DEVELOPMENT ASSESSMENT

Contact: (02) 6740 2100
Reference: 2025/045
ld

Development Consent Cover Sheet – Council's Use

Made under the Environmental Planning & Assessment Act.1979

LAST UPDATED 23 JULY 2021

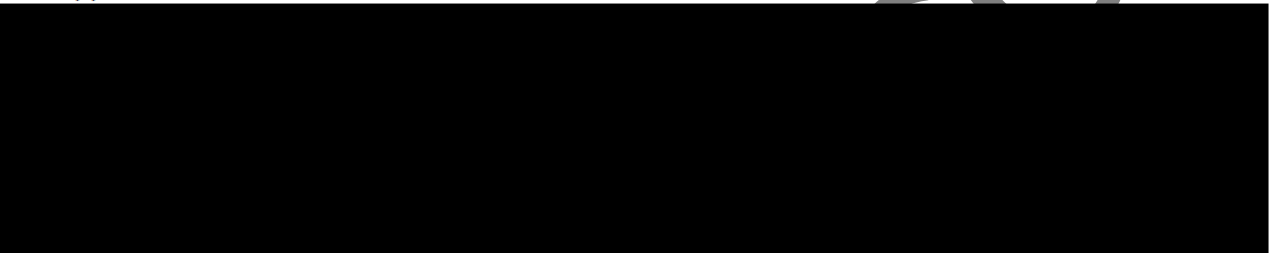
Date: 13/05/2025

DEVELOPMENT APPLICATION NUMBER

Development Application Number: 10.2025.00000045.001

APPLICANT DETAILS

Name(s): C Sheridan



LAND TO BE DEVELOPED

Address: 91 Reading Road, Gunnedah

Lot Number: 11 DP Number: 263040 Site Area: 3.935 Ha

BRIEF DESCRIPTION AND USE OF PROPOSED DEVELOPMENT

10m x 10m Shed

Variation to cumulative size

PROPOSED DEVELOPMENT DETAILS

- ☒ Local Development
- ☐ Integrated Development (requires approval under another Act)
- ☐ Designated Development (requires an EIS to be submitted)

Total Project Value: \$24,000.00

Applicant contact details

Title	Mr
First given name	Christopher
Other given name/s	
Family name	Sheridan
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	No

Owner/s of the development site

Owner/s of the development site	There are multiple owners of the development site and I am one of them
Owner #	1
Title	Mr
First given name	Christopher
Other given name/s	
Family name	Sheridan
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Owner #	2
Title	Miss
First given name	Leah
Other given name/s	
Family name	Urquhart
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	Yes
Provide details	We do have a puppy (friendly), if the gate is closed please close gate behind you.

Developer details

ABN	
ACN	
Name	
Trading name	
Address	

Email Address	
---------------	--

Development details

Application type	Development Application
Site address #	1
Street address	91 READING ROAD GUNNEDAH 2380
Local government area	GUNNEDAH
Lot / Section Number / Plan	11/-/DP263040 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	Land Application LEP Gunnedah Local Environmental Plan 2012 Land Zoning R5: Large Lot Residential Height of Building NA Floor Space Ratio (n:1) NA Minimum Lot Size 1.2 ha Heritage NA Land Reservation Acquisition NA Foreshore Building Line NA

Proposed development

Selected common application types	Erection of a new structure
Selected development types	Shed
Description of development	Construction of 10 metre x 10 metre shed. 10 metres off Blackjack road boundary and 64 metres off Reading road boundary.
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Number of proposed occupants	1
Existing gross floor area (m2)	0
Proposed gross floor area (m2)	100
Total site area (m2)	39,350
Total net lettable area (m2)	39,350
What is the estimated development cost, including GST?	\$24,000.00
Estimated development cost	\$21,600.00
Do you have one or more BASIX certificates?	
Subdivision	
Number of existing lots	
Proposed operating details	
Number of staff/employees on the site	

Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	Development that is wholly residential

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

First name	Christopher
Other given name(s)	John
Family name	Sheridan
Contact number	
Email address	
Billing address	

Application documents

The following documents support the application.

Document type	Document file name
Site Plans	6271_Sheet 2_Detailed Site Plan 6271_DA Letter 6271_Sheet 1_Site Plan
Statement of environmental effects	Statement of Environmental Effects

Applicant declarations

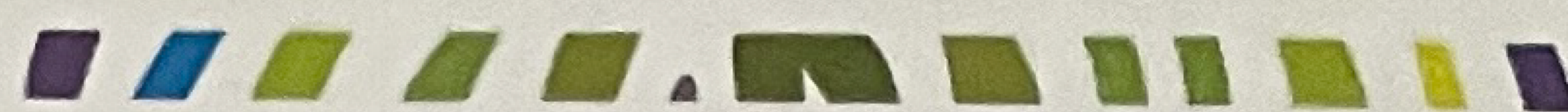
I declare that all the information in my application and accompanying documents is, to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes

I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

EXHIBITION COPY

Gunnedah

Shire Council



Owners Consent

Made under the *Environmental Planning and Assessment Act 1979* and *Local Government Act 1993*

ABOUT THIS FORM

You can use this form to demonstrate that all owners have consented to the lodging of an application where Council is the consent authority.

LAND RELATING TO THE APPLICATION

Address: 91 Reading Road
Town/Suburb: Gunnedah State: NSW Postcode: 2380
Lot Number: 11 Section Number: DP Number: 263040

OWNERS DETAILS

Name(s): Christopher Sheridan
[Redacted Address]

I/WE, THE OWNER(S) GIVE CONSENT TO

Nominated Agent: [Redacted]

TO ACT ON MY/OUR BEHALF TO

- Lodge all relevant applications for development consent, CCs, CDCs, Subdivision Works Certificates, Subdivision Certificates, Appointment of Principal Certifier, Building Information Certificates, Occupation Certificates, Planning Proposal and Section 68 Applications.
- Have discussions with all relevant authorities.
- Do all things required to be done, or provide all information and documents necessary to obtain such approvals.
- Where applicable, withdraw the application/s and obtain a refund of relevant fees paid.

CONSENT OF ALL OWNERS

As the owner(s) of the property, I/we consent to this application to apply for approval to carry out the development described herein and state that the information contained herein is, to the best of my/our knowledge, true and correct. I/we hereby give permission for Council authorised personnel to carry out inspections of the land and buildings as necessary for the purpose of assessing this application without prior notice of entry.

Name: Christopher Sheridan
Signature: [Signature] Date: 20/3/25
Name: Leah Urquhart
Signature: [Signature] Date: 20/3/25

Note: if ownership is under a company name, please provide evidence that the signatory on the application has the authority to sign on behalf of the company, by providing authority on company letterhead.

22 April 2025
Our Ref: 6271

The General Manager
Gunnedah Council
63 Elgin Street
GUNNEDAH NSW 2380

Dear Sir,

**DEVELOPMENT APPLICATION FOR PROPOSED OUTBUILDING ON LOT 11 IN DP 263040
91 READING ROAD, GUNNEDAH**

Client: Chris Sheridan
Property Address: 91 Reading Road, Gunnedah
Title Particulars: LOT 11 IN DP263040

Valuer General Property Number: 1853753
Property Area: 3.935ha
Zoning: R5 Large Lot Residential, Gunnedah LEP 2012
Minimum Lot Size: 1.2 ha
Current Land Use: Rural Residential

We enclose site plans showing the proposed development. These plans are titled:

Sheet 1 - **Site Plan** for Proposed Outbuilding on Lot 11 in DP263040, 91 Reading Road Gunnedah, dated: 15 April 2025, prepared by Stewart Surveys Pty Ltd

Sheet 2 - **Detailed Site Plan** for Proposed Outbuilding on Lot 11 in DP263040, 91 Reading Road Gunnedah, dated: 15 April 2025, prepared by Stewart Surveys Pty Ltd

Shed Plans and elevations for the development are titled:

91 Reading Road Gunnedah, Chris Sheridan, Sheets 1 to 7, Job No. 0999292543, dated 24-01-2025, prepared by Emerald Design and Construction.

The land owner has completed a Statement of Environmental Effects report for this application.

The following tables demonstrate compliance with the Gunnedah Development Control Plan clause 2.1.8 Outbuildings, Carports and Detached Garages.

Development Consultants - Surveying, Environmental & Landscape Architecture Services

Stewart Surveys Pty Ltd
ABN 65 002 886 508

109 Conadilly Street
PO Box 592
Gunnedah NSW 2380

T 02 6742 2966
office@stewartsurveys.com
www.stewartsurveys.com

Clause	DCP Requirement	Site Application
2.1.8 Outbuildings, Carports and Detached Garages	<p>Outbuildings, carports and detached garages are not permitted within the setback and in front of the main dwelling if the lot size is less than 4,000m². If the outbuilding, carport or detached garage is in front of main dwelling (<4,000m²lot), they must be;</p> <ul style="list-style-type: none"> • Same construction, • Matching roof pitch, and • Appear like part of the habitable dwelling. <p>The wall cladding of outbuildings, carports and detached garages shall be either face brick, painted or pre-coloured.</p>	<p>The proposed outbuilding is setback 64 metres, behind the building on Reading Road and 10 metres from the Blackjack Road boundary.</p> <p>There are existing outbuildings on the site which are proposed to be removed. The setback of these buildings is less than 10m from the Blackjack Road boundary.</p>

Zone	Maximum Size	Cumulative Buildings	Maximum Length of One Horizontal Dimension	Maximum Wall Height at Eaves Line	Maximum Roof Pitch	Maximum Height
DCP REQUIREMENTS						
R5* (lsm-y-1.2ha)	100m ²	150m ²	-	4.2m	-	5m
PROPOSED SHED						
	100m ²	170m ²	10m	3.85m	11°	4.822m

There are two existing outbuildings on the site, which are proposed to be demolished. Outbuilding 1 is 6 x 6m or 36m². Outbuilding 2 is 3 x 3m garden shed or 9m². These will be replaced with the proposed 100m² outbuilding outlined in the development plans.

There are two existing outbuildings used for horse stable and tackle, which are proposed to be retained. The main building is 9.4 x 7.5 or 70m². A small outbuilding of 3 x 3 metres meets the exempt development size for a garden shed.

Variation to the DCP clause 2.1.8 is requested for this development to allow a minor increase of 20m² on the allowable cumulative buildings. This variation equates to 11.7% (20/170*100) which is considered to be a minor variation and the demolition of two other outbuildings on the site will reduce the clutter and provide a more visually appealing character. The size of the outbuildings on the subject site at 100m² and 70m² are not an imposing structure and not out of character for this area of Gunnedah. The property is also more than 3 times larger than the minimum lot size, at 3.935 hectares. This has resulted in the subject site being used for horse grazing and other hobby pursuits which require are not possible on the 1.2 hectare properties. On this basis it is requested that council support the minor variation to the DCP.

Clause	DCP Requirements	Site Application
	Objectives/strategies	Assessment
2.1.8a Discretionary Development Standard	i) Outbuildings and Garages may be setback a minimum of 5.5 metres from the front or side building line.	The proposed shed is setback 64m from Reading Road, behind the building line and 10m from Blackjack Road.

	<p>ii) Carports may be setback a minimum of 1.5 metres from the front or side building line.</p> <p>iii) Roof profiles shall compliment the concessional setback and the architectural articulation component within the elevation.</p>	<p>The outbuilding meets the 5.5 metre setback from Reading Road allowed under clause 2.1.8a.</p> <p>There is existing screen planting along this boundary between the shed and road. The land owner will embellish this screening from Blackjack Road.</p>
2.1.8b Discretionary Development Standard	i) Outbuildings, Carports and detached Garages may have a maximum size less than and/or equal to the cumulative building size if there are no other outbuildings, carports or detached garages located on the site.	<p>The proposed shed meets the maximum size of 100m².</p> <p>Variation to the allowable cumulative building size is requested as outlined above.</p>
2.1.8c Discretionary Development Standard	<p>i) Maximum length of the longest side of an Outbuildings, Carports and detached Garages may be no more than two-thirds of the length of the property boundary to which the longest side is parallel/adjacent.</p> <p>ii) The maximum size shall be less than and/or equal to the cumulative buildings size if there are no other outbuildings, carports or detached garages on the site.</p>	Not applicable as the building complies with the clause.

With approval to the minor variation on the cumulative size of outbuildings on the site, we believe this application meets the council development control plan and policies and can be supported.

Yours faithfully

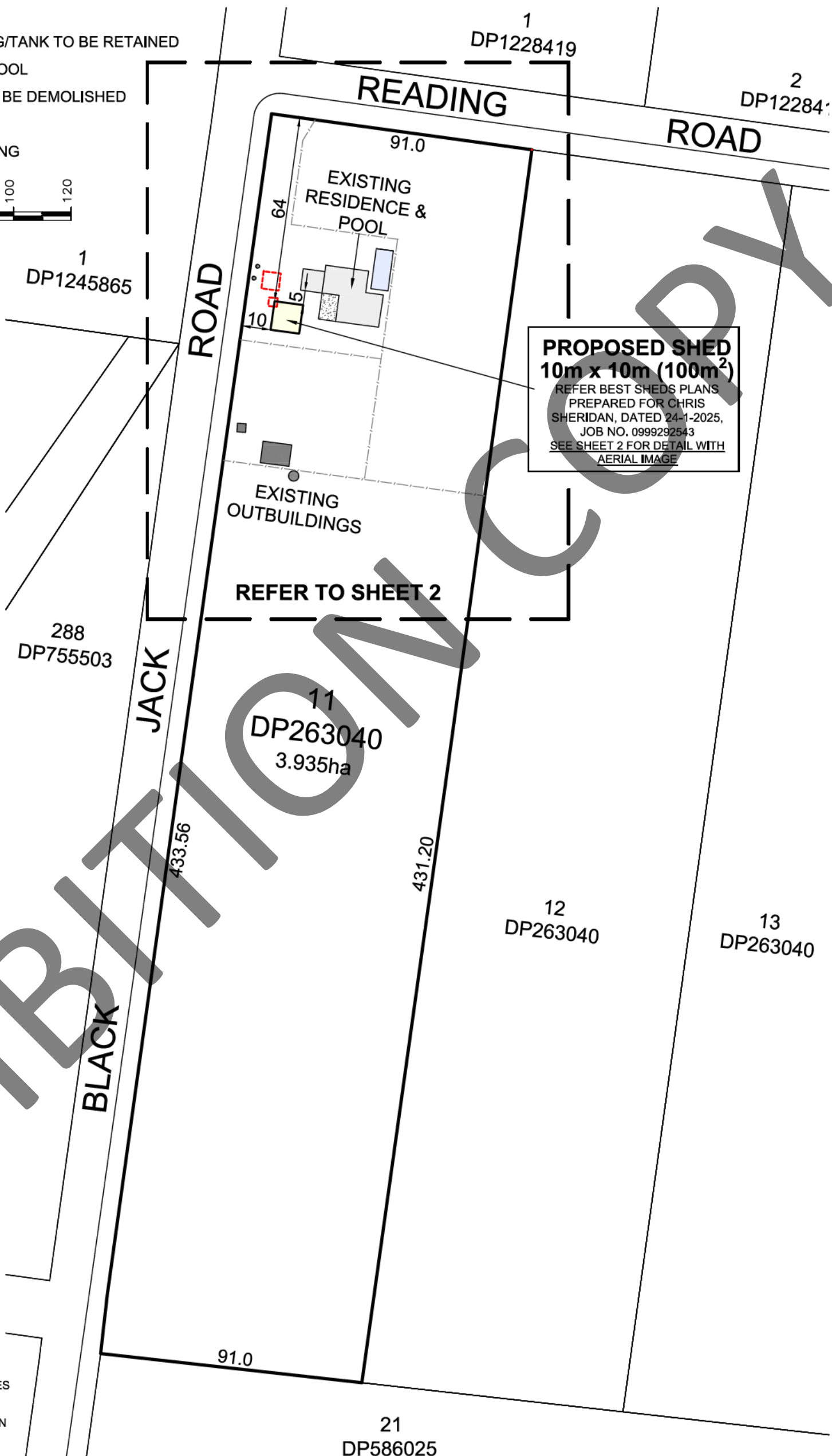
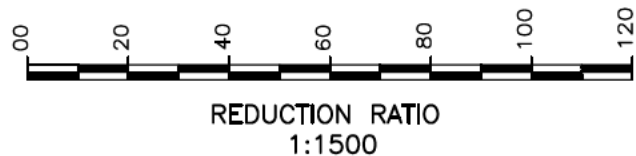
STEWART SURVEYS PTY LTD

Kathryn Stewart

Kathryn Stewart
BLArch (UNSW), MEnvMgmt (UNSW)
Registered Landscape Architect #001493

LEGEND

- PROPERTY BOUNDARY
- EXISTING RESIDENCE
- EXISTING OUTBUILDING/TANK TO BE RETAINED
- EXISTING SWIMMING POOL
- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING FENCE
- PROPOSED OUTBUILDING



PROPOSED SHED
10m x 10m (100m²)
REFER BEST SHEDS PLANS
PREPARED FOR CHRIS
SHERIDAN, DATED 24-1-2025,
JOB NO. 0999292543
SEE SHEET 2 FOR DETAIL WITH
AERIAL IMAGE



LGA OF GUNNEDAH
PARISH OF GUNNEDAH
COUNTY OF POTTINGER

NOTE: THIS PLAN IS FOR IDENTIFICATION PURPOSES
ONLY. NO SURVEY HAS BEEN CARRIED OUT IN THE
PREPARATION OF THIS PLAN. IT IS CONCEPTUAL
ONLY. ALL DIMENSIONS SHOULD BE CONFIRMED ON
SITE.

Stewart
Surveys

P.O. Box 592
GUNNEDAH NSW 2380
T 02 67422966
E office@stewartsurveys.com

CLIENT:

CHRIS SHERIDAN

PROJECT:

91 READING ROAD, GUNNEDAH

Date:

15 APRIL 2025

File Ref:

6271

DESCRIPTION:

SITE PLAN

FOR PROPOSED OUTBUILDING ON LOT 11

DP263040

91 READING ROAD, GUNNEDAH

Drawn: JA

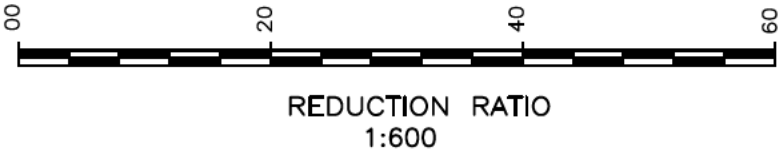
Scale: 1:1500 @ A3

Sheet: 1 of 2


LEGEND

- PROPERTY BOUNDARY
- EXISTING BUILDING TO BE DEMOLISHED
- PROPOSED OUTBUILDING

LGA OF GUNNEDAH
PARISH OF GUNNEDAH
COUNTY OF POTTINGER



NOTE: THIS PLAN IS FOR IDENTIFICATION PURPOSES ONLY. NO SURVEY HAS BEEN CARRIED OUT IN THE PREPARATION OF THIS PLAN. IT IS CONCEPTUAL ONLY. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE.

<div><div>Stewart Surveys</div><div></div><div>P.O. Box 592 GUNNEDAH NSW 2380 T 02 67422966 E office@stewartsurveys.com</div></div>	CLIENT: CHRIS SHERIDAN		DESCRIPTION: DETAILED SITE PLAN FOR PROPOSED OUTBUILDING ON LOT 11 DP263040 91 READING ROAD, GUNNEDAH		
	PROJECT: 91 READING ROAD, GUNNEDAH				
	Date: 15 APRIL 2025	File Ref: 6271	Drawn: JA	Scale: 1:600 @ A3	Sheet: 2 of 2

Statement of Environmental Effects

SINGLE DWELLING HOUSES, RESIDENTIAL ANCILLARY & OUTBUILDING DEVELOPMENTS ONLY

LAST UPDATED 13 MAY 2019

Date: 20/3/25

INTRODUCTION

A Statement of Environmental Effects is to be submitted with all development applications other than "designated development" or proposals having negligible environmental impact, eg internal alterations. This form is to be used for single dwelling houses, residential ancillary & outbuilding developments only. All other developments require a detailed, site specific Statement of Environmental Effects.

This Statement of Environmental Effects is not exhaustive and should be augmented where appropriate. If insufficient space not has been provided, please attach additional sheets.

Please place a tick (v) in the appropriate box.

SITE AND CONTEXT SUITABILITY

	YES	NO
Is the development compatible with the land zoning?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the development compatible with adjoining development?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Does your application include a site plan illustrating the topography of the development site?	<input type="checkbox"/>	<input type="checkbox"/>

Describe the topography of the site (eg slope of the land, existing vegetation, groundwater issues, orientation of dwelling, streetscape and setbacks etc)

Construction on flat land, 10 metres off
Blackjack Road, 64 metres off Reading Road.
Behind existing carport, next to rainwater tanks.

PRESENT AND PROPOSED USE

What is the present use of the site?

Personal Residential

List any previous uses not consistent with the present use of site

N/A

What is the use of the adjoining land?

Personal Residential

Is the present use a potentially contaminated activity?

YES NO
☐ ☒

Was the previous use a potentially contaminated activity?

☐ ☒

Has there been any testing or assessment of the site for land contamination?

☐ ☒

Have any of the following land uses or activities been undertaken on the site:

- Service station
- Sheep or cattle dip
- Intensive agriculture
- Mining or extractive industry
- Waste storage or waste treatment
- Manufacture of chemicals
- Asbestos or asbestos products
- Other - Refer to State Environmental Planning Policy No 55 – Remediation of Land

☐ ☒

☐ ☒

☐ ☒

☐ ☒

☐ ☒

☐ ☒

☐ ☒

☐ ☒

If a "Yes" answer is given above, please provide details:

.....
.....

ELECTRICITY

Where will electricity be accessed from?

POWER BOX

ACCESS AND TRAFFIC

Is there adequate provision for vehicle access to a public road?

YES NO
☒ ☐

Will the proposal generate traffic?

☐ ☒

If "yes" a traffic impact assessment report should be prepared and submitted.

What road will the site be accessed from? (road name, existing entrance location, etc)

READING ROAD

Will local traffic movements and volumes be affected?

☐ ☒

Is existing servicing inadequate?

☐ ☒

Will additional access requirements be needed?

☐ ☒

Will a Traffic Study be required?

☐ ☒

Have parking arrangements been allocated for residents, staff, customer, client and visitor parking?

☒ ☐

What is the current formation of the existing access?

CORNER access

WATER AND DRAINAGE

Where will water be sourced from?

- Town Supply
- Rainwater Tank
- Bore

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

How will stormwater be disposed from the site?

- Street
- Onsite
- Onsite retention

<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Does the development site contain an existing rainwater tank that is currently being utilised?

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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If disposal of stormwater is on site, describe disposal system.

shed will be placed next to existing rainwater tanks (60,000 Litres)

Are measures in place to maximise infiltration and minimise water runoff?
(eg groundcover, banks, stormwater reuse, low water demand, native plants)

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Will the proposed design increase stormwater runoff or adversely affect flooding on other land?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Are inter allotment drainage easement across a downstream property required?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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PRIVACY, VIEWS AND SUNLIGHT

Will the proposal affect the amenity of surrounding residences by:

- Overshadowing
- Loss of privacy
- Increased noise
- Vibration

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

WASTE MANAGEMENT SYSTEM

How will effluent be disposed of?

- Onsite
- Sewer

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Will the proposal lead to direct discharges of stormwater or waste water into a natural water system?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Will Trade Waste be discharged to Council's sewer?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

Will other wastes be generated by this development?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Does the site plan illustrate the proposed location of the onsite waste management system?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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HERITAGE

	YES	NO
Is a heritage item located on the development site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the development site located in a heritage conservation area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the development site an archaeological or potential archaeological site? (eg having Aboriginal Heritage significance)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ENVIRONMENTAL IMPACTS

SOIL

	YES	NO
Could the proposal result in soil contamination?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Will excavation and/or filling be required?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Slopes of greater than 15% require a geotechnical report. Is the slope is greater than 15%?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Could the proposal cause erosion and/or sedimentation of watercourses during construction or after completion?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

POLLUTION

Will the proposal emit fumes, steam, smoke, vapour or dust?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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HABITAT

Will the proposal involve the removal of vegetation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Could the proposal affect native vegetation habitats?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Could the proposal affect native animal habitats?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the development site contain a core koala habitat?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If "Yes", additional information is required with the application.

Refer to *State Environmental Planning Policy No 44 – Koala Habitat Protection*.

HAZARDS

	YES	NO
Is the site subject to natural hazards such as:		
• Subsidence	<input type="checkbox"/>	<input type="checkbox"/>
• Other	<input type="checkbox"/>	<input type="checkbox"/>
Are there technological hazards associated with the proposal:		
• Toxic Waste	<input type="checkbox"/>	<input type="checkbox"/>
• Dangerous Goods	<input type="checkbox"/>	<input type="checkbox"/>
• Radiation	<input type="checkbox"/>	<input type="checkbox"/>
• Hazardous Chemicals	<input type="checkbox"/>	<input type="checkbox"/>

FLOOD PRONE LAND

	YES	NO
Is the site subject to flooding?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If "yes", detailed levels are to be provided with the application.		

AQUACULTURE

Does your proposal involve the cultivation of fish, shellfish or other aquatic organisms for commercial purposes (not including a pet shop or aquarium)?

YES NO

☐☒

If "yes", you will need a permit under Section 144 of the Fisheries Management Act 1994 from NSW Department of Primary Industries.

Does your proposal involve the excavation or filling of the bed of a natural or semi natural Waterway whether permanently or intermittently inundated or flowing (including an estuary, lake, river, creek, lagoon or wetland), with any earth, soil, rock, rubble, concrete, timber or bricks etc?

☐☒

This does not include works with farm dams, urban ponds, irrigation channels, stormwater ponds, sewerage treatment ponds etc.

If "yes", you will need a permit under Section 201 of the Fishers Management Act 1994 from NSW Department of Primary Industries.

Does your proposal involve the construction of any structure such as a weir, dam, floodgate, culvert or causeway across any natural or semi-natural waterway whether permanently or intermittently inundated or flowing (including an estuary, lake, river, creek, lagoon or wetland)?

☐☒

If "yes", you will need a permit under Section 144 of the Fisheries Management Act 1994 from NSW Department of Primary Industries.

BUSHFIRE PRONE LAND

Has the land been identified as Bushfire Prone Land on the Gunnedah LGA in accordance with the Bushfire Prone Land Map 2003?

YES

NO

☐☒

If "yes", the development will need to take into consideration the policy "Planning for Bushfire Protection" (NSW Rural Fire Service).

SIGNED

Author's Name:

Christopher Sheridan

Author's Signature:

CS

Date:

20/3/25

ENGINEERING SCHEDULE

CERTIFIED STEEL PORTAL FRAME SHED DESIGN IN ACCORDANCE WITH NCC 2022 FOR SITE WIND SPEED "40.93m/s", WIND REGION "A0", TERRAIN CATEGORY "2", IMPORTANCE LEVEL "2"

Internal Pressure: 0.5
Design Snow Load: 0.00 KPa, Roof Snow Load: 0.00 KPa

Customer: Chris Sheridan
Site Address: 91 Reading Rd, Gunnedah NSW 2380

Main Building: Span: 10, Length: 10, Height: 3.85, Roof Pitch: 11 degrees
The length being comprised of 2 bays, the largest bay is 5m bays.
Left LeanTo: NA
Right LeanTo: NA

Total Kit Weight: 2818.63kg

INTERNAL PORTALS
Column: C25019
Rafter: C25019
Knee Brace: C15024
Knee Brace Length: 2500
Apex Brace: NA
Apex Brace Length: NA

END PORTALS
Column: C25019
Rafter: C25019
Knee Brace: NA
Knee Brace Length: NA
Apex Brace: NA
Apex Brace Length: NA
Endwall Mullion: C25019

LEFT LEAN TO PORTALS
Internal Column: NA
Internal Rafter: NA
End Column: NA
End Rafter: NA
Knee Brace: NA
Knee Brace Length: NA

RIGHT LEAN TO PORTALS
Internal Column: NA
Internal Rafter: NA
End Column: NA
End Rafter: NA
Knee Brace: NA
Knee Brace Length: NA

NOTE: All unclad intermediate columns are always back to back (refer to drawing: Floor Plan).

PURLINS AND GIRTS
Eave Purlin: TH120100
Side Wall Girts: TH120100
Front End Wall Girts: TH120100
Back End Wall Girts: TH120100
Roof Purlins: TH120100
Max Spacing: 1250
Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.25m where window/s are located.

FASTENERS
Sleeve Anchor Bolts: M16x105 Sleeve Anchor
Frame Bolts: M16x45 Purlin Assembly Zinc (Mild)
Frame Screws: Frame Screw 14x14x22
Cross Bracing Strap: 32mm x 1.2 strap
Open Bay Header Height: NA

COLOUR SCHEDULE
Roof Sheets: Monolith
External Wall Sheets: Monolith
Roller Doors: Monolith
Flashings: Monolith
PA Doors: Monolith
Windows: NA

DOMESTIC & LIGHT INDUSTRIAL STEEL PORTAL FRAME SHED STRUCTURES

This structure is designed in compliance with AS4600, AS3600 and AS1170 1 to 4 as Importance Level 2 with a Live Load of 0.25kPa as "Air Leaky Structures" providing stability when openings are prevalent.

The structures are clad with corrugated pre-painted finish, 0.42mm walls and 0.42mm roof (compliant with AS1562.1 Metal) over cold formed 450 to 550mPa galvanized steel C sections primary frames.

Primary framing is fastened together with 4.6 Class galvanized bolts adequately tensioned on ground prior to erection.

Secondary framing steel bracing, with purlins and girts lapped, are all tek fastened to primary steel with a minimum of two (2) teks per connection as specified in details.

All rainwater products are compliant with AS2179.1 (Metal).

ENGINEERING

The undersigning engineer has checked that the design of the structure complies with relevant current Australian Standards as stated above and the following i.e AS4671- 2001 Steel Reinforcing materials, AS3600 - Concrete structures. However, he will not be present during construction, neither will he conduct inspections nor construction supervision.

The class 10a buildings are designed for erection on pad footings or slab based on soil of classification "A"- "P" with minimum bearing capacity 100kPa (i.e. organic soil is to be removed to a suitable material below natural surface).

Where (suitable) fill is required to level the site, it should be placed and compacted in layers of 150mm maximum.

Concrete pad footings and slab supply and placement is to be in compliance with AS2870-2011 Residential Slabs & Footings, AS3600-2009 Concrete Structures for A2 and B2 exposure (i.e. 25mPa strength @ 28 days strength) with recommended slump 75 to 80mm for light pneumatic tyred traffic all trafficable floors.

25mm deep concrete saw cut, to be made into the surface of the concrete slab every 6m in width or length as crack control joints.

For sites where these conditions are considered to be inadequate, a customized foundation design for the structure can be supplied to suit a specific purpose.

CONSTRUCTION

Erection of the structure is to be in compliance with local and state ordinances,

Occupational Health and Safety Regulations and with plans provided.

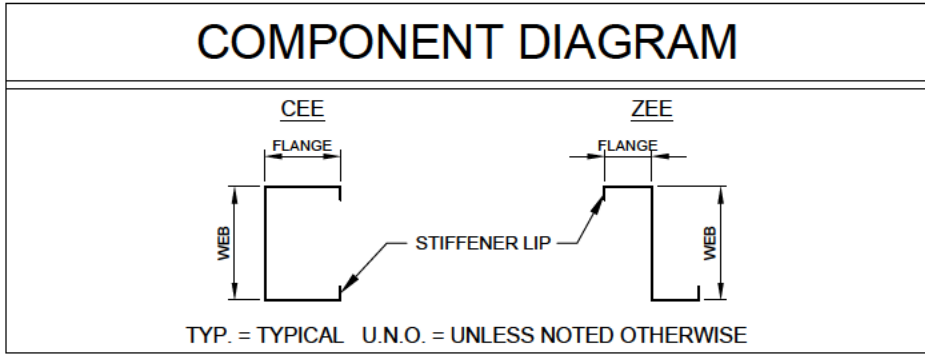
GENERAL

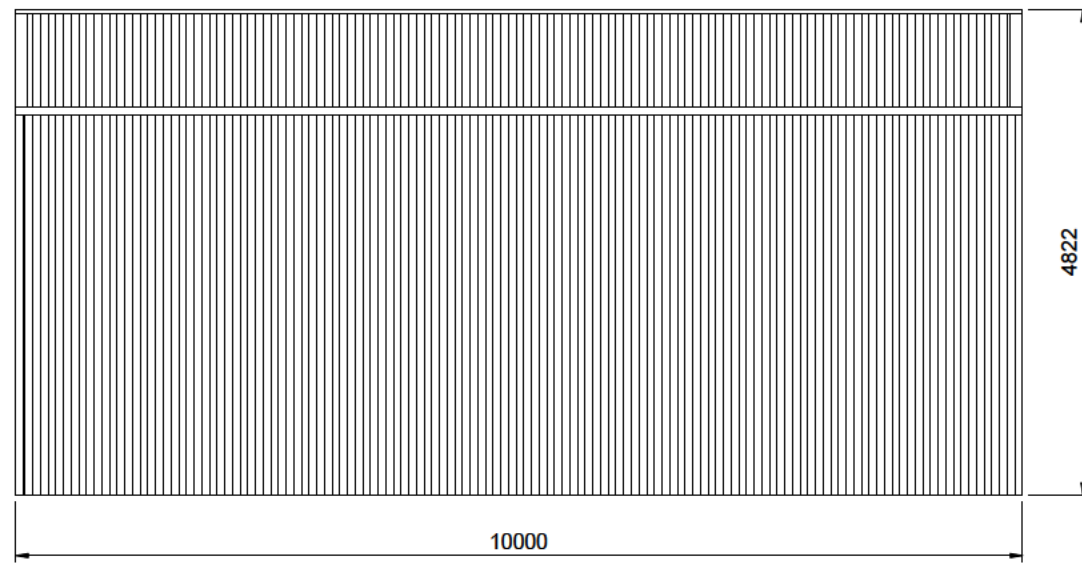
The designs as portrayed on the drawings remain the intellectual property of Best Sheds Pty Ltd and are provided for building approval and construction purposes only.

SNOW LOAD

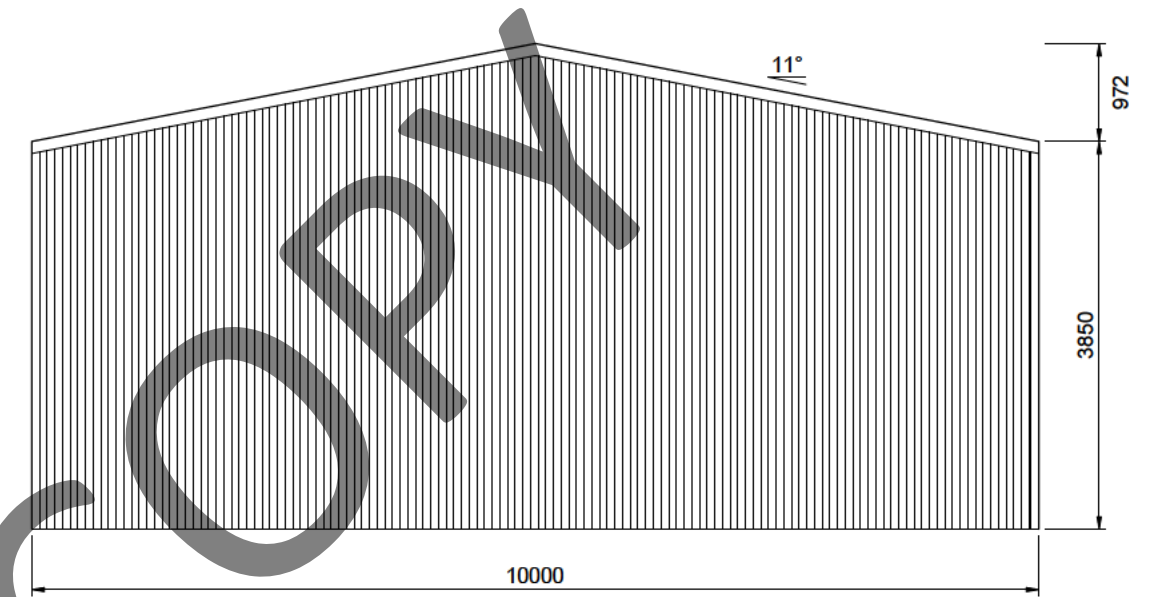
Following conditions only apply to buildings with snow loading:

- No maintenance or roof traffic permitted on the roof while there is snow present.
- No other structure to be erected within 500mm of the gutters of this building.



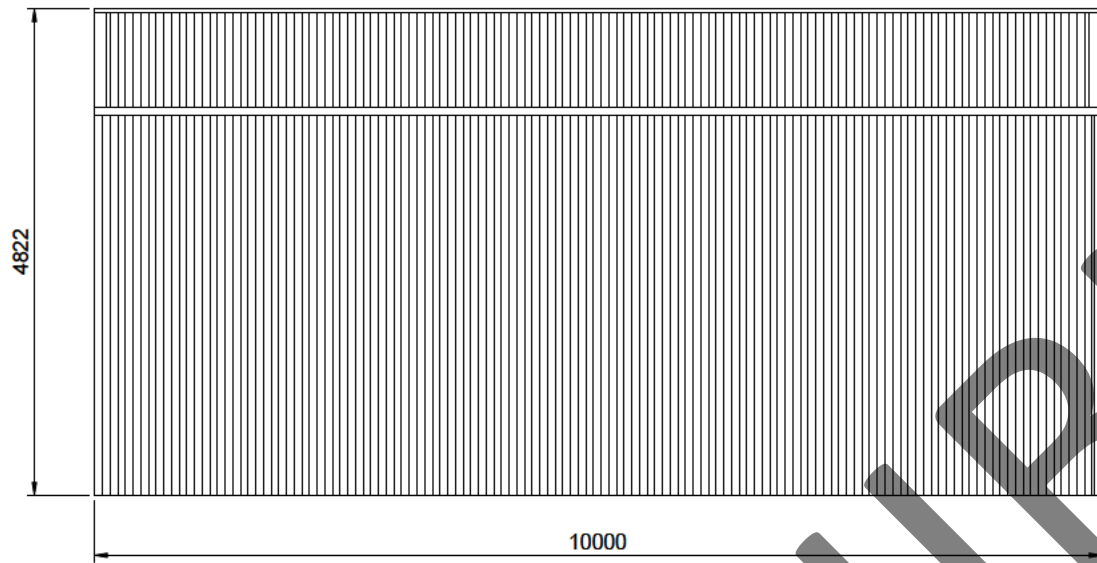


2 LEFT ELEVATION
2 SCALE: 1:75

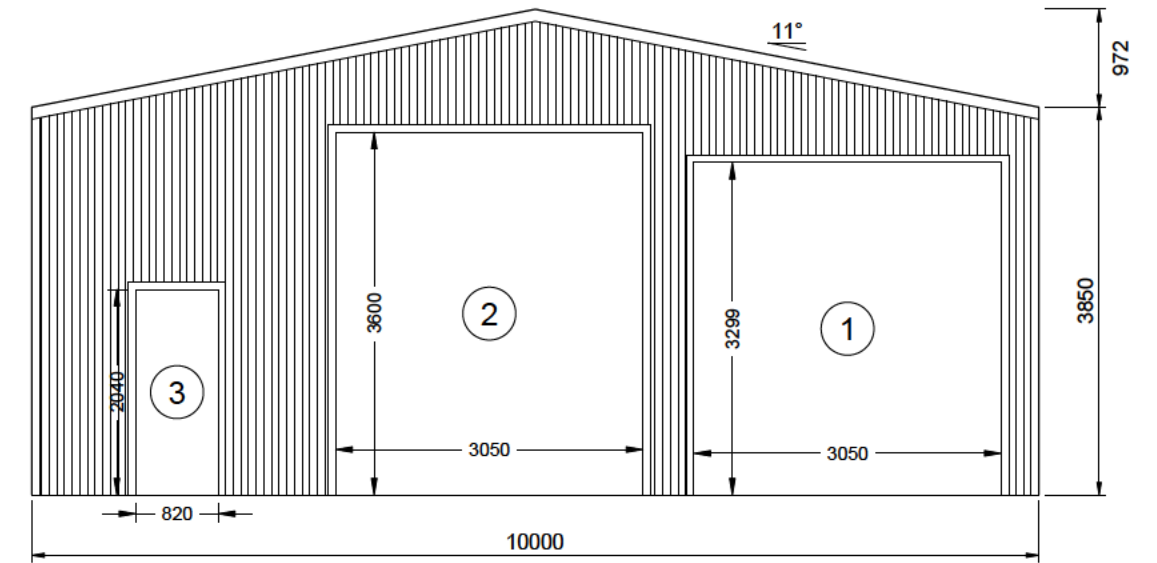


3 REAR ELEVATION
2 SCALE: 1:75

FRAME #3

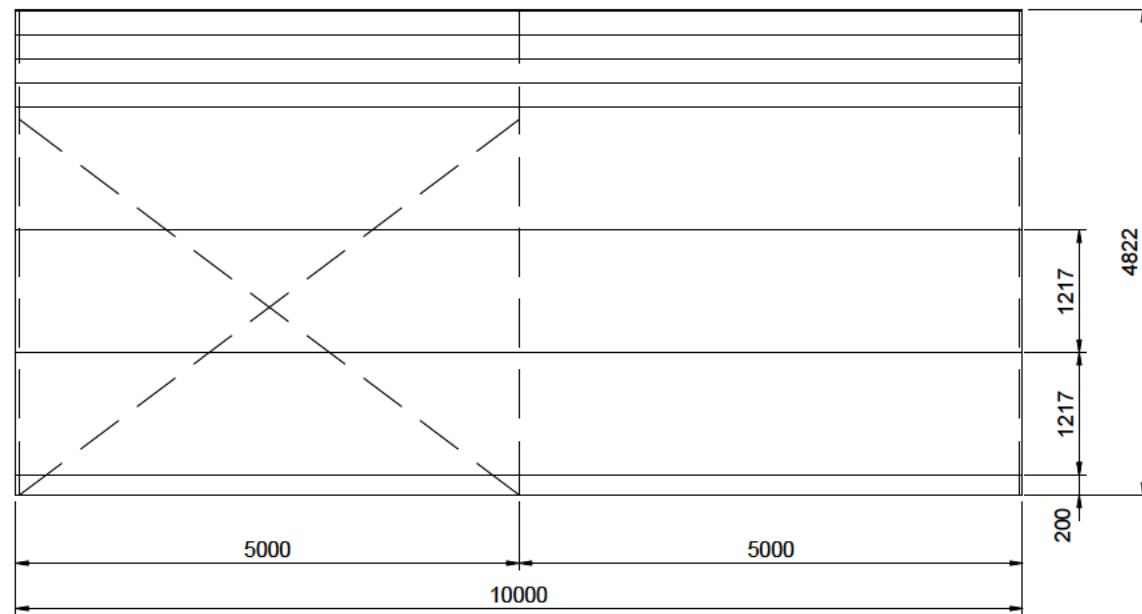


1 RIGHT ELEVATION
2 SCALE: 1:75

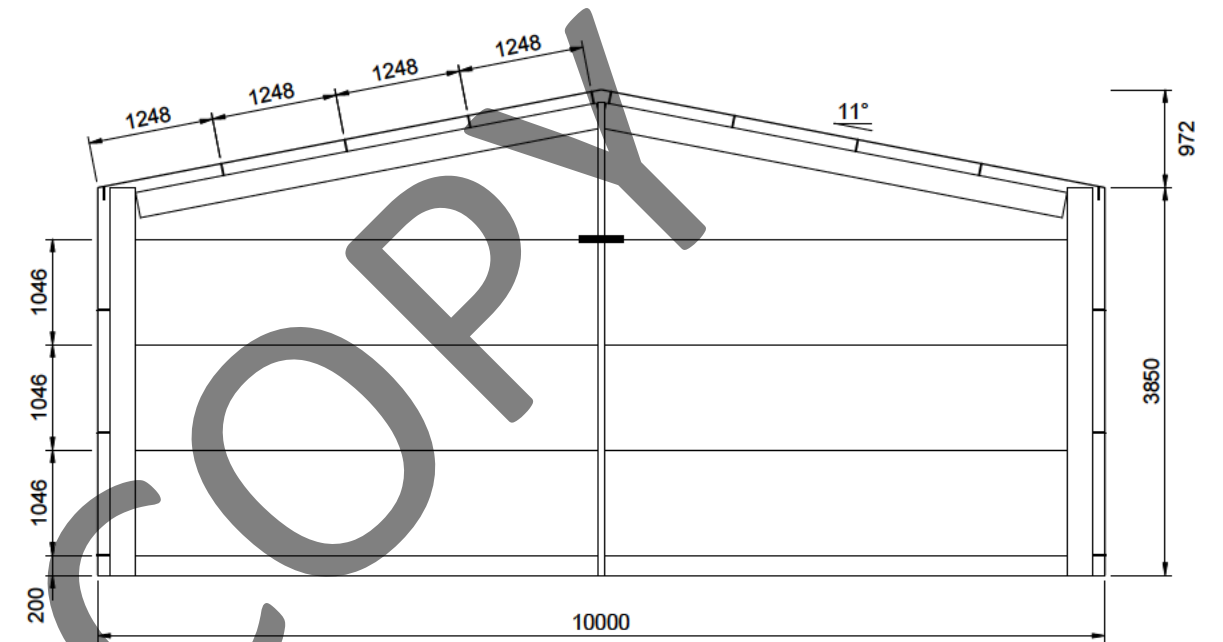


4 FRONT ELEVATION
2 SCALE: 1:75

FRAME #1

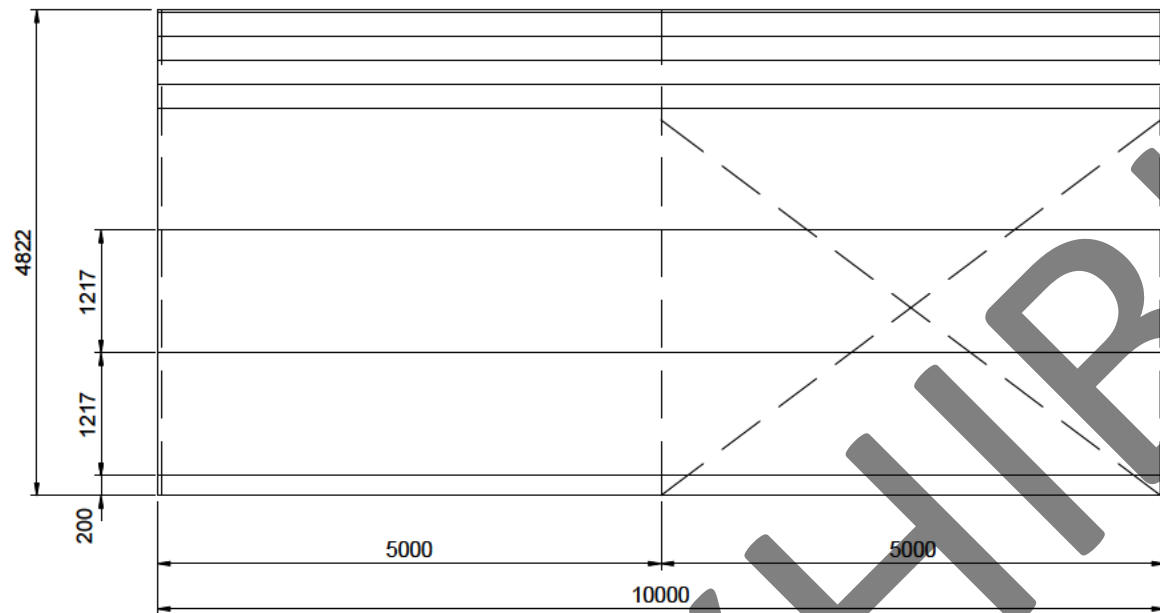


2 LEFT ELEVATION
3 SCALE: 1:75

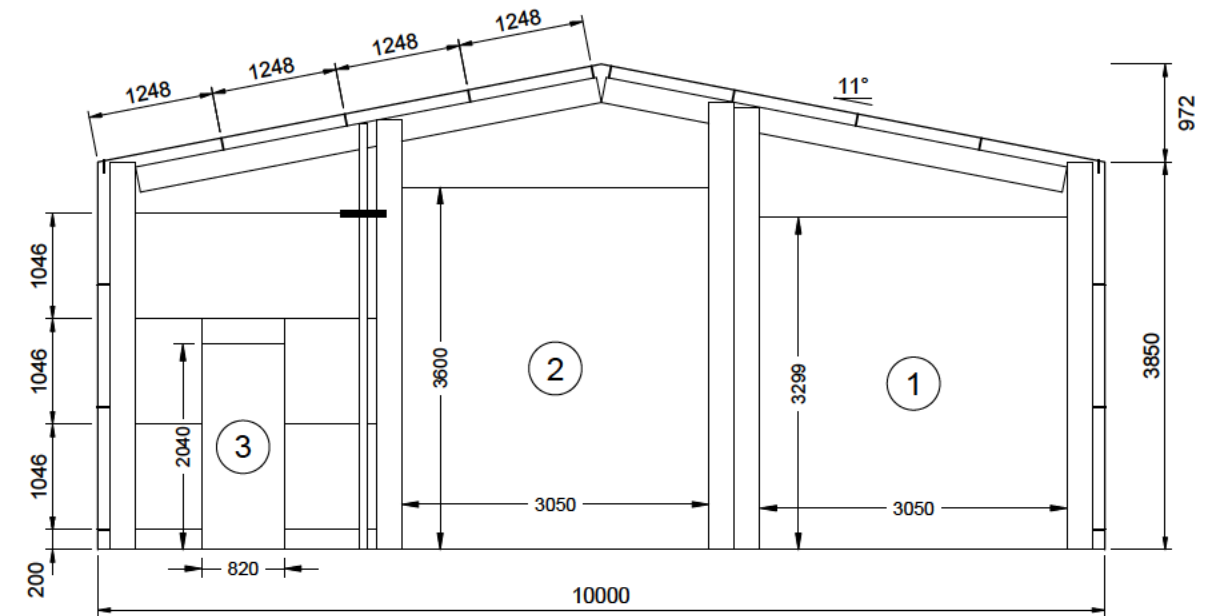


3 REAR ELEVATION
3 SCALE: 1:75

FRAME #3

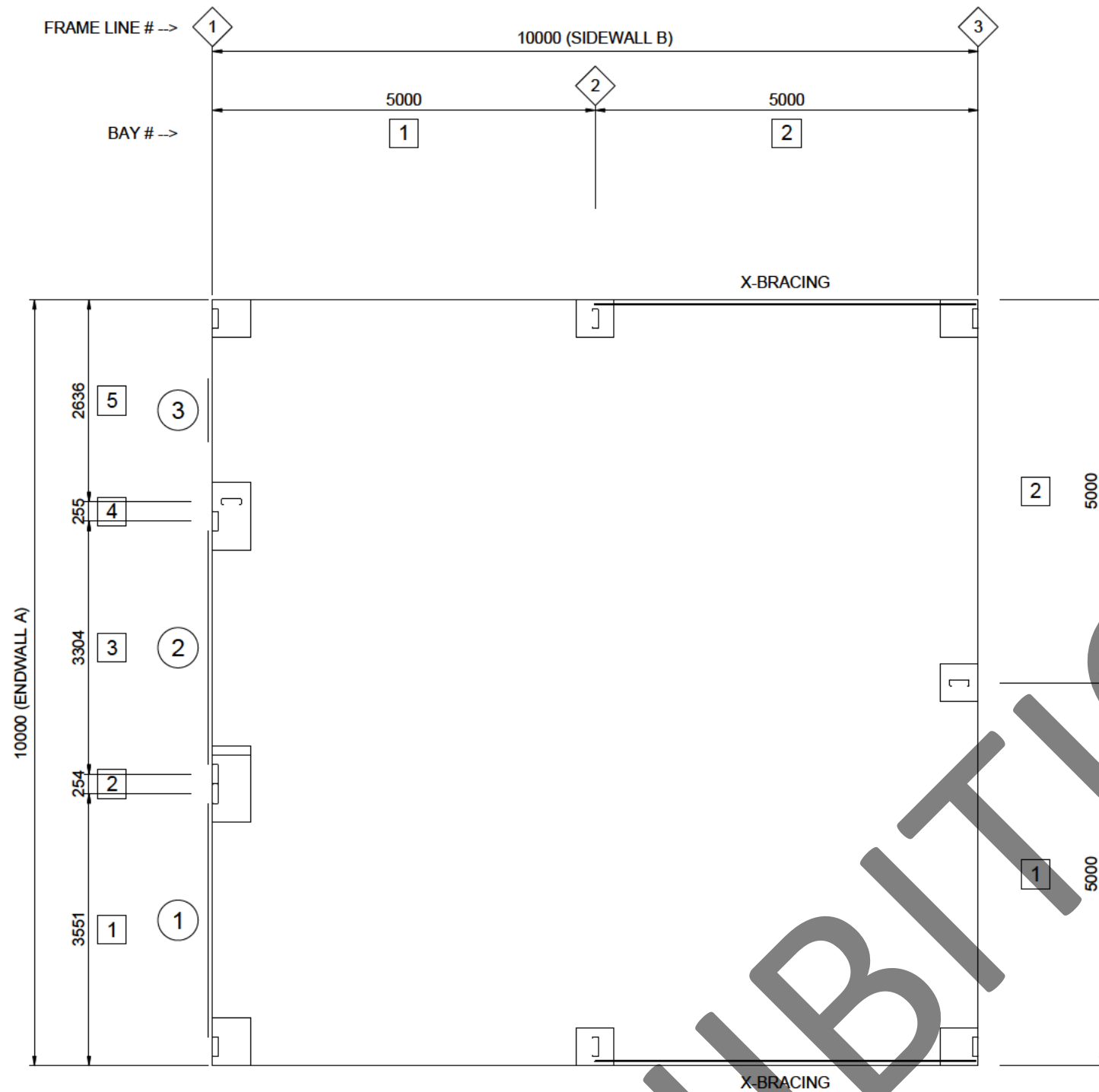


1 RIGHT ELEVATION
3 SCALE: 1:75

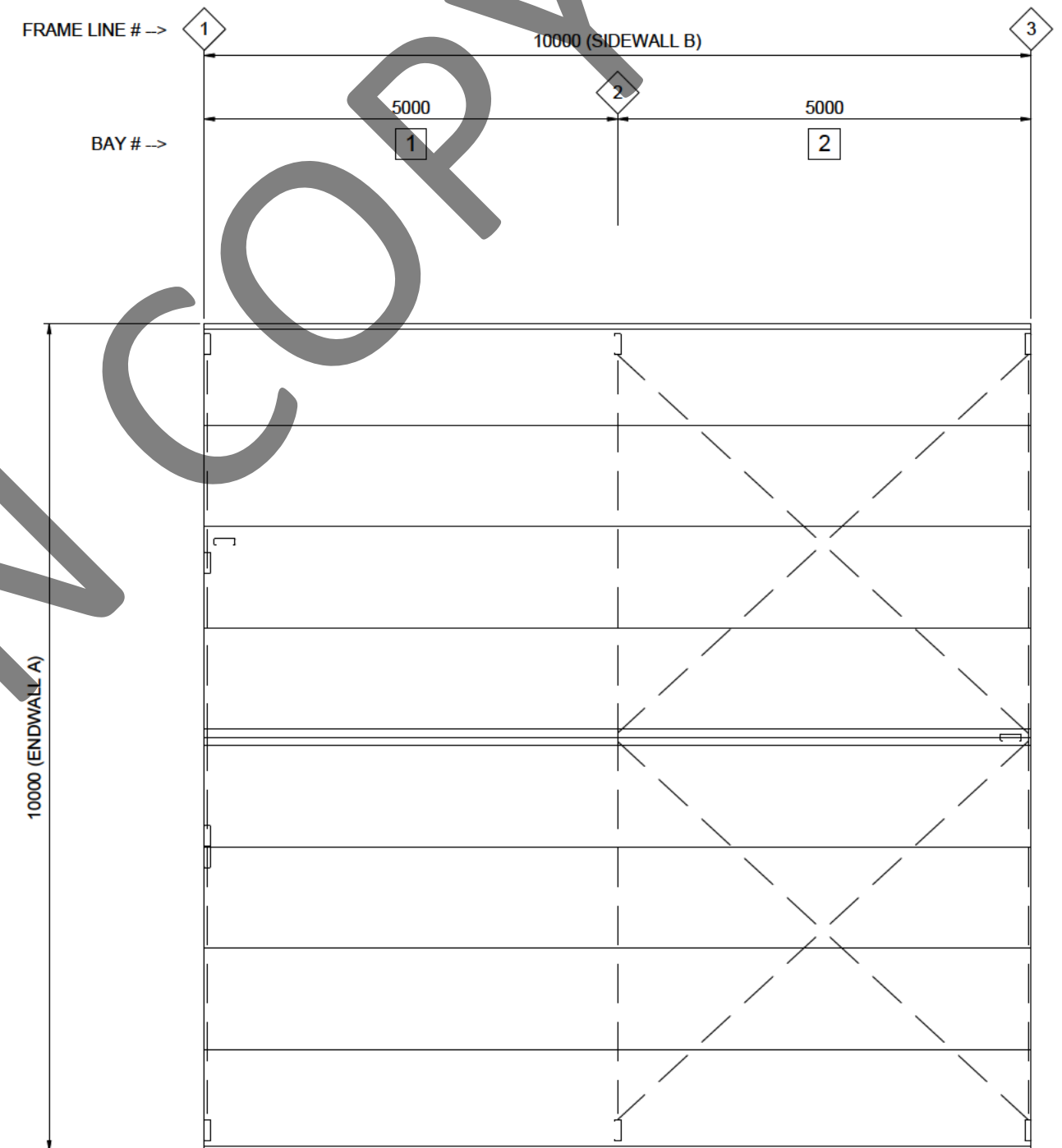


4 FRONT ELEVATION
3 SCALE: 1:75

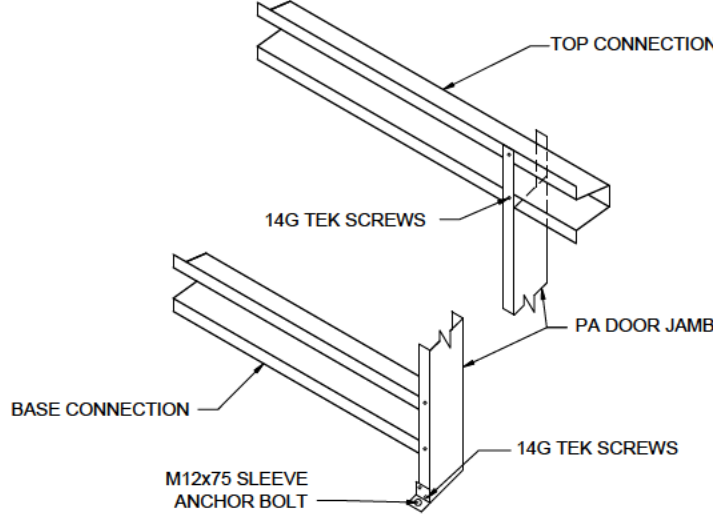
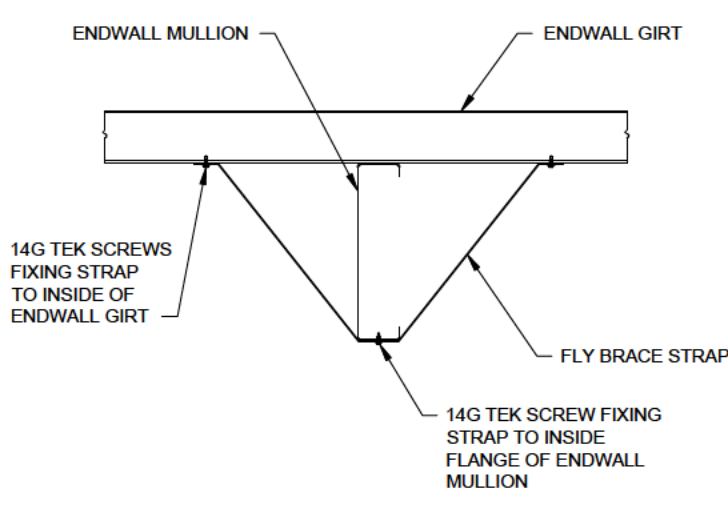
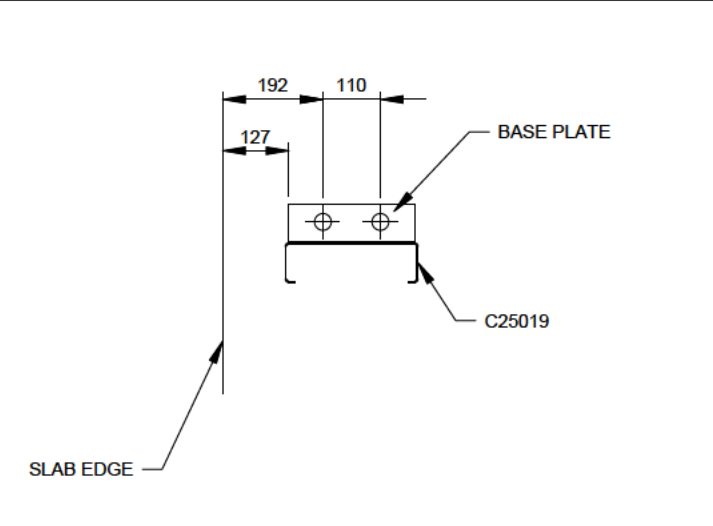
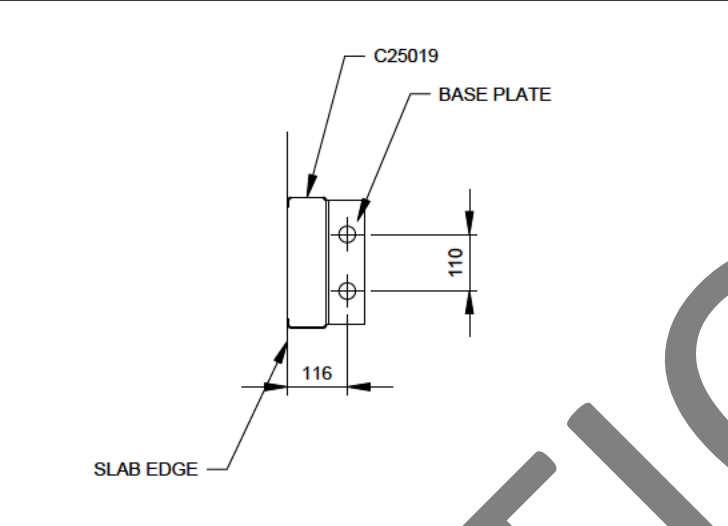
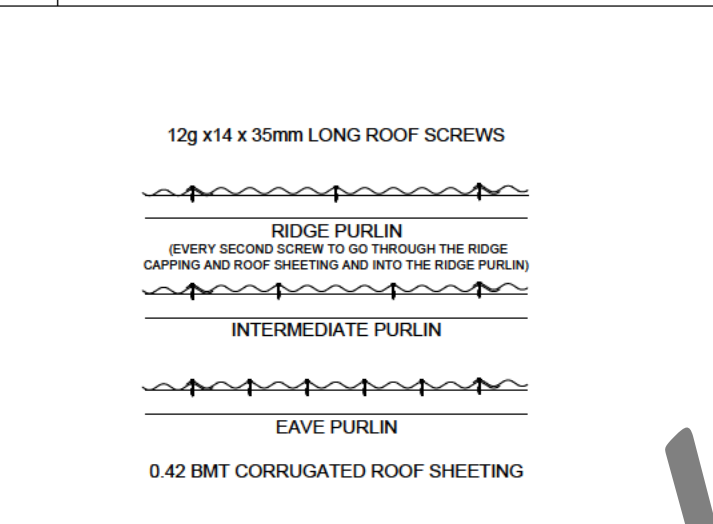
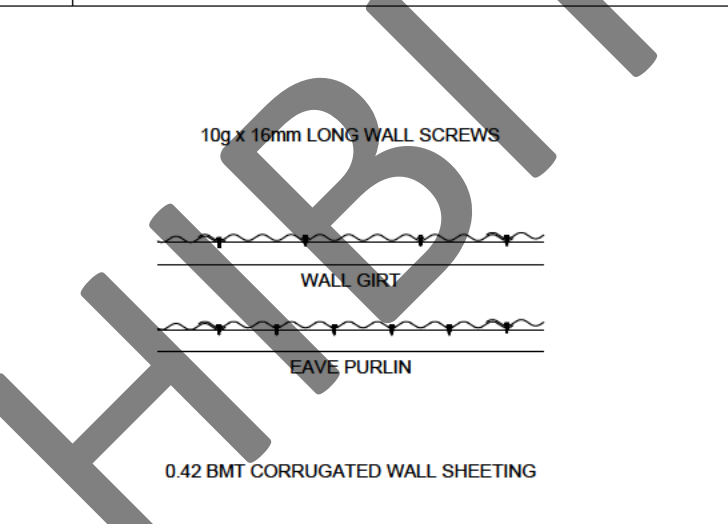
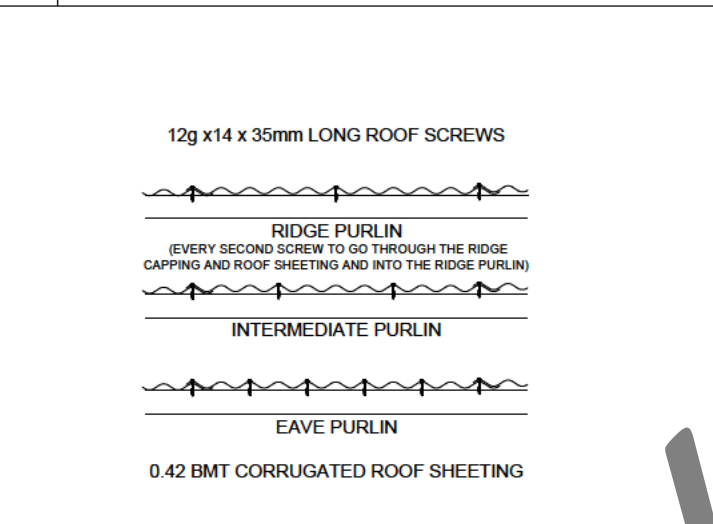
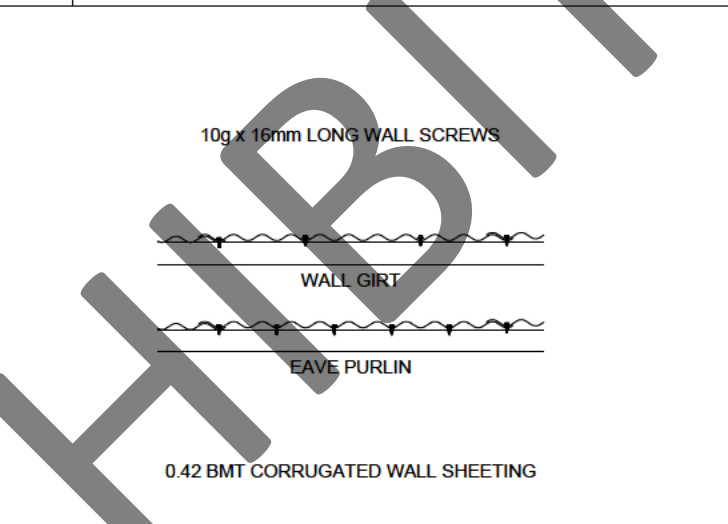
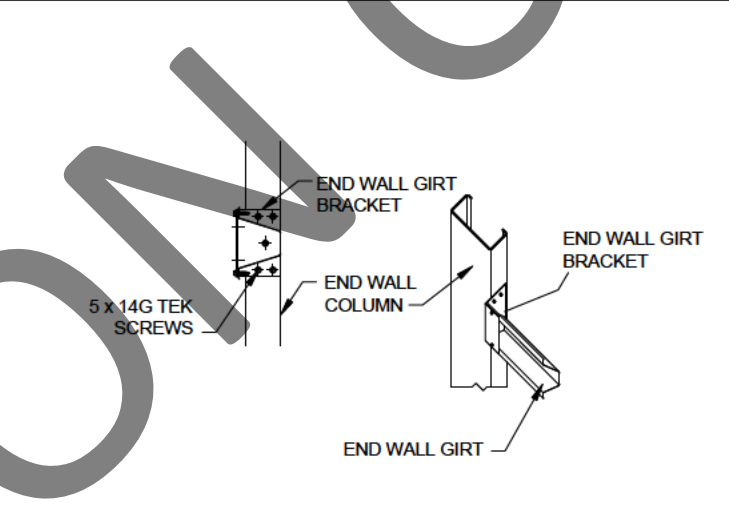
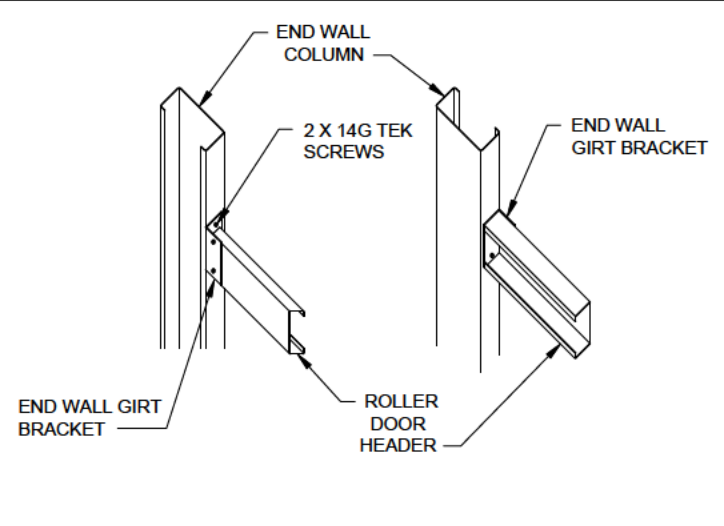
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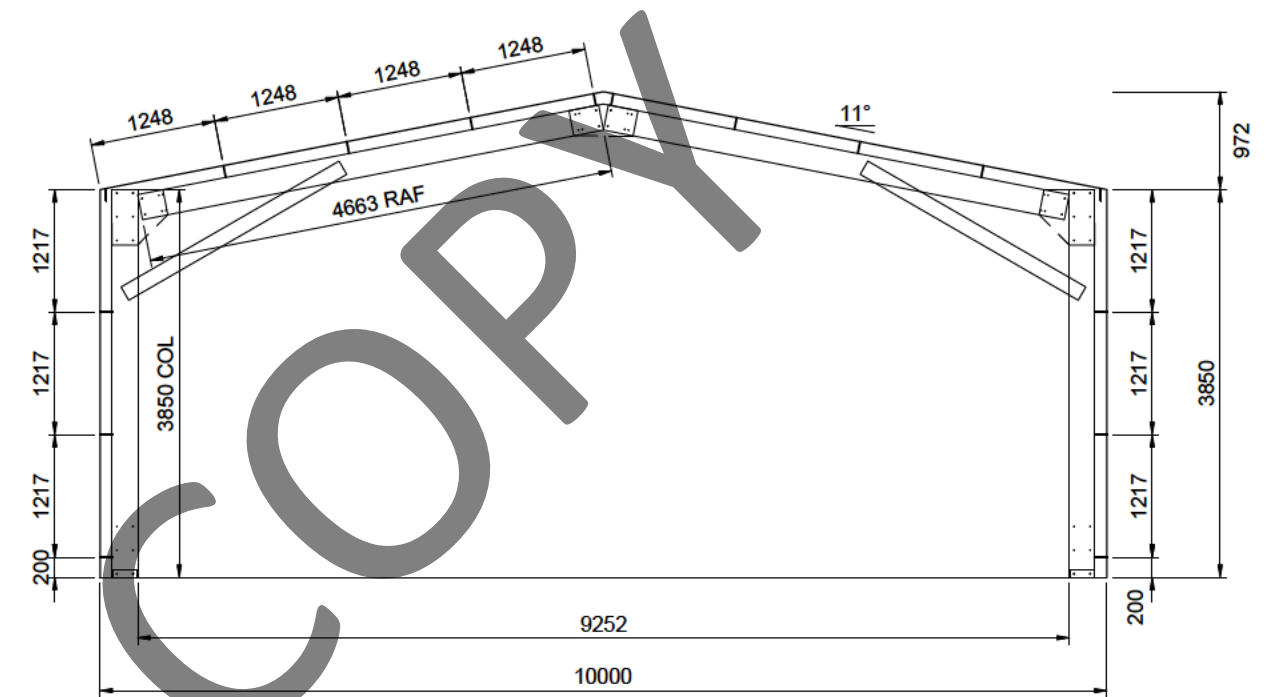


1 FLOOR PLAN
4 SCALE: 1:75



2 ROOF FRAMING PLAN
4 SCALE: 1:75

			
Q	PA DOOR STYLE CONNECTION	R	FLYBRACE
			
M	ENDWALL MULLION BASE	N	ROTATED ENDWALL MULLION BASE
			
I	ROOF SHEETING	J	WALL SHEETING
			
K	CORNER COLUMN BASE	L	INTERNAL COLUMN BASE
			
O		P	
ENDWALL GIRT BRACKET		END DOOR HEADER AND JAMB	



1
7

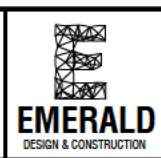
TYP. FRAME CROSS-SECTION

SCALE: 1:75

FRAME #2



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Email: sales@bestsheds.com.au



CIVIL & STRUCTURAL ENGINEERS
COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING
CAMILO PINEDA MORENO
Bend MIEAust RPEng
RPEQ 15562 TBP PE003976 (VIC)

Signature:

Date: 24.01.2025

Customer Name: Chris Sheridan
Site Address: 91 Reading Rd
Gunnedah,
NSW, 2380

DATE 24-01-2025
JOB NO. 0999292543
SHEET 7 of 7

Other if Applicable: Other Defects/Safety Hazards found were Damage to septic tank lids raising safety concern. Large trees growing in close proximity to the house raising drainage and safety concern.

